

# HISTORIC AND DESIGN REVIEW COMMISSION

October 06, 2021

**HDRC CASE NO:** 2021-437  
**ADDRESS:** 725 E GUENTHER ST  
**LEGAL DESCRIPTION:** NCB 2882 BLK 7 LOT E IRR 124.4 FT OF 7  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**APPLICANT:** Ronnie Groth/Sotex Renovation, LLC  
**OWNER:** LORD ROBERT E & MILLARD MARILYN G  
**TYPE OF WORK:** Decking installation over concrete porch, exterior alterations, balcony  
**APPLICATION RECEIVED:** August 24, 2021  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Rachel Rettaliata

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a composite deck over the existing concrete front porch.
2. Install a deck and balcony on the rear elevation.
3. Complete fenestration modifications on the rear elevation.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

### 1. Materials: Woodwork

#### A. MAINTENANCE (PRESERVATION)

- i. *Inspections*—Conduct semi-annual inspections of all exterior wood elements to verify condition and determine maintenance needs.
- ii. *Cleaning*—Clean exterior surfaces annually with mild household cleaners and water. Avoid using high pressure power washing and any abrasive cleaning or stripping methods that can damage the historic wood siding and detailing.
- iii. *Paint preparation*—Remove peeling, flaking, or failing paint surfaces from historic woodwork using the gentlest means possible to protect the integrity of the historic wood surface. Acceptable methods for paint removal include scraping and sanding, thermal removal, and when necessary, mild chemical strippers. Sand blasting and water blasting should never be used to remove paint from any surface. Sand only to the next sound level of paint, not all the way to the wood, and address any moisture and deterioration issues before repainting.
- iv. *Repainting*—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See *General Paint Type Recommendations* in Preservation Brief #10 listed under Additional Resources for more information.
- v. *Repair*—Repair deteriorated areas or refasten loose elements with an exterior wood filler, epoxy, or glue.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Facade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

### 2. Materials: Masonry and Stucco

#### A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
  - ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
  - iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
  - iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.
- B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)**
- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
  - ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
  - iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
  - iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

## 6. Architectural Features: Doors, Windows, and Screens

### A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.

ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.

x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

## 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

### A. MAINTENANCE (PRESERVATION)

i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.

ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.

iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.

ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.

iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.

iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.

v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

### *Standard Specifications for Original Wood Window Replacement*

- **SCOPE OF REPAIR:** When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- **MISSING OR PREVIOUSLY-REPLACED WINDOWS:** Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **MATERIAL:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.

- GLAZING: Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Replacement windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

## **FINDINGS:**

- a. The primary structure located at 725 E Guenther is a 1-story, single-family structure constructed circa 1910 in the Queen Anne style. The home features a pyramidal standing seam metal roof, woodlap siding with decorative shake siding in the front gables, a prominent side chimney, an asymmetrical front porch, and a previously constructed rear addition. The structure first appears on the 1912 Sanborn Map. The structure is contributing to the King William Historic District.
- b. FRONT PORCH MODIFICATIONS – The applicant has proposed to install composite decking over the existing concrete front porch and install pressure treated wood porch railings. Guideline 7.A.iii for Exterior Maintenance and Alterations states that original wood or concrete porch floors should be preserved. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically. Additionally, Guideline 7.B.iv for Exterior Maintenance and Alterations advises against adding new elements and details that create a false historic appearance. Staff finds that the composite decking has the look of wood and will not create a false historic appearance. The composite decking should feature a smooth finish with no faux wood grain. The decking should feature a 1" x 3" profile and should be installed perpendicular to the front façade. Staff finds the request generally appropriate for the structure.
- c. REAR DECK INSTALLATION – The applicant has proposed to install an approximately 864-square-foot rear composite deck with a rooftop balcony on the rear elevation. The rear deck will feature composite decking board and bench planters and will extend to the rear property line. The proposed deck will feature an approximately 152-square-foot composite observatory deck with an exterior composite staircase on the south side of the deck, and a pressure treated 4'-2" tall wood railing. Guideline 7.B.ii for Exterior Maintenance and Alterations states that alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch. Additionally, Guideline 7.B.iv states that replacement elements, such as stairs, should be designed to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance. Staff finds that the proposed rear deck and second-story observation deck will not be visible from the public right-of-way. Staff finds the proposal appropriate.
- d. FENESTRATION MODIFICATIONS: FRENCH DOOR INSTALLATION – The applicant has proposed to replace two (2) existing replacement windows and one one set of doors on the west (rear) elevation of the rear addition with three (3) sets of wrought iron French doors with transoms. The two existing rear windows are aluminum one-over-one windows with arched transoms that are incompatible with the historic structure. The existing rear door is a wood French door. Guideline 6.A.i for Exterior Maintenance and Alterations states that existing window and door openings should be preserved. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way. As the existing windows and doors are located on the rear elevation of the rear addition, are not visible from the public right-of-way, and have been previously modified, staff finds the proposal appropriate.
- e. FENESTRATION MODIFICATIONS: DOOR REOPENING – The applicant has proposed to re-open the enclosed door opening on the east end of the west (rear) elevation. The door opening was previously enclosed with exterior siding. The applicant has proposed to install a single pedestrian door in the opening but has expressed that they may want to install French doors to match the three (3) wrought iron doors proposed for the west (rear) elevation. Staff finds the re-opening of the enclosed door opening appropriate. Updated elevation drawings and material specifications must be submitted to staff for any modifications to the current proposal.
- f. ADMINISTRATIVE APPROVAL – The application materials include requests to remove the existing rear awning with 12-inch column supports, the existing rear storage unit, and the decorative iron scroll from the existing fence, and requests to install an approximately 36-square-foot wood storage unit at the rear and to replace the existing rear privacy fencing with 6-foot-high horizontal wood privacy fencing. These requests are

eligible for administrative approval and do not require review by the HDRC. Additionally, site plans included in the application materials include notes that the existing window on the south elevation of the rear addition and pedestrian door on the east elevation of the rear addition are proposed for replacement. The applicant has not provided material specifications for these requests, and they are not included in the scope of work for HDRC review. Any requests to replace the existing previously replaced window and door on the south (side) elevation will require an additional application and review.

**RECOMMENDATION:**

Item 1, staff recommends approval of the front porch modifications based on findings a through b.

- i. That the proposed composite decking feature a smooth finish with no faux wood grain. The decking should feature a 1" x 3" profile and should be installed perpendicular to the front façade.
- ii. That the applicant installs a fully wood front porch railing. The wood railing must feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet.

Item 2, staff recommends approval of the rear deck and balcony installation based on finding c.

Item 3, staff recommends approval of the fenestration modifications on the rear addition based on findings d through e with the following stipulations:

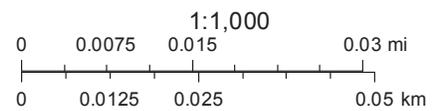
- i. That the applicant submits final material specifications for the proposed French doors and single pedestrian door to staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- ii. Any requests to replace the existing window of the south elevation of the rear addition and the pedestrian door on the east elevation of the rear addition require an additional application for review and approval.

# City of San Antonio One Stop

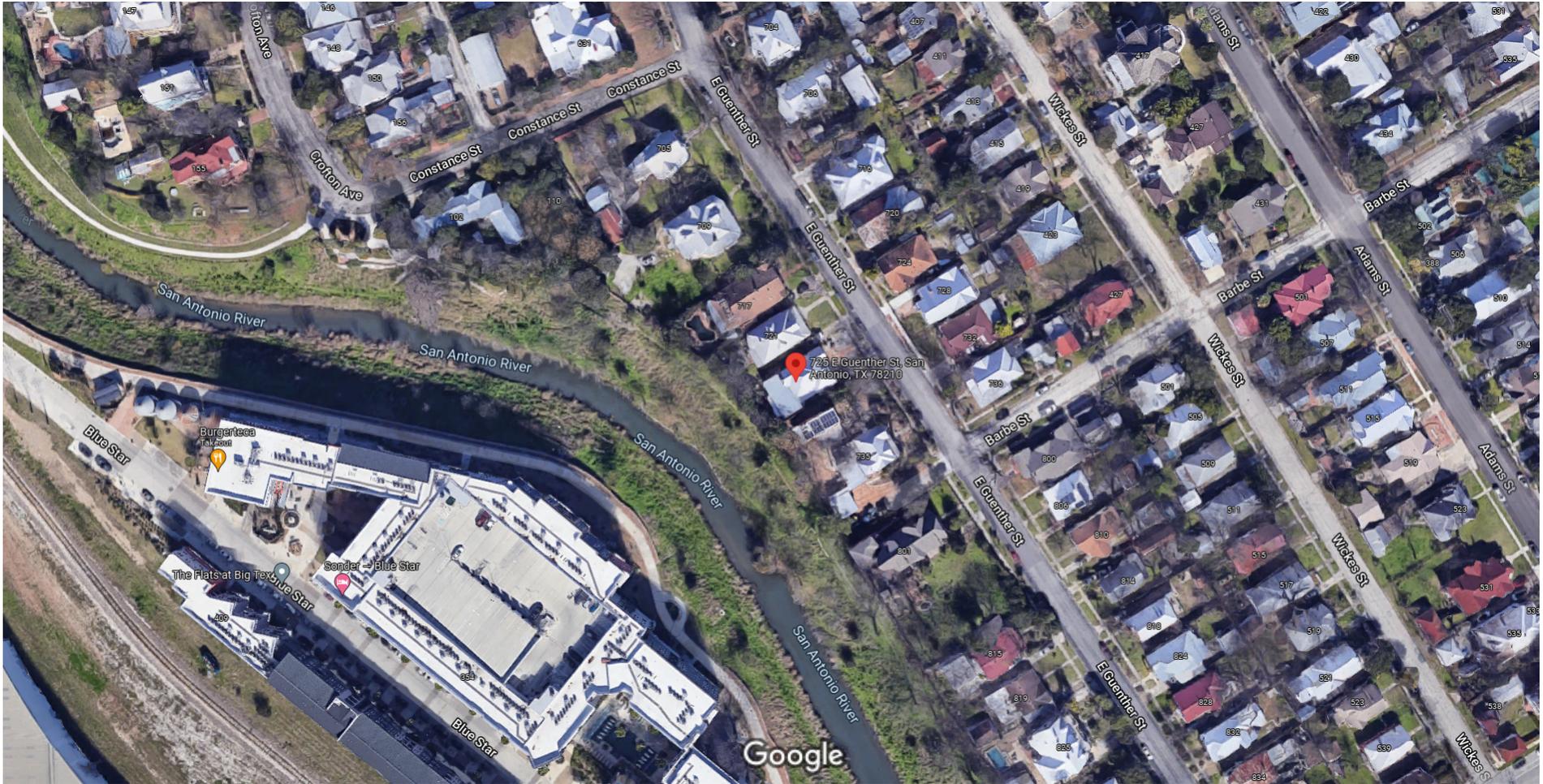


October 1, 2021

 User drawn lines

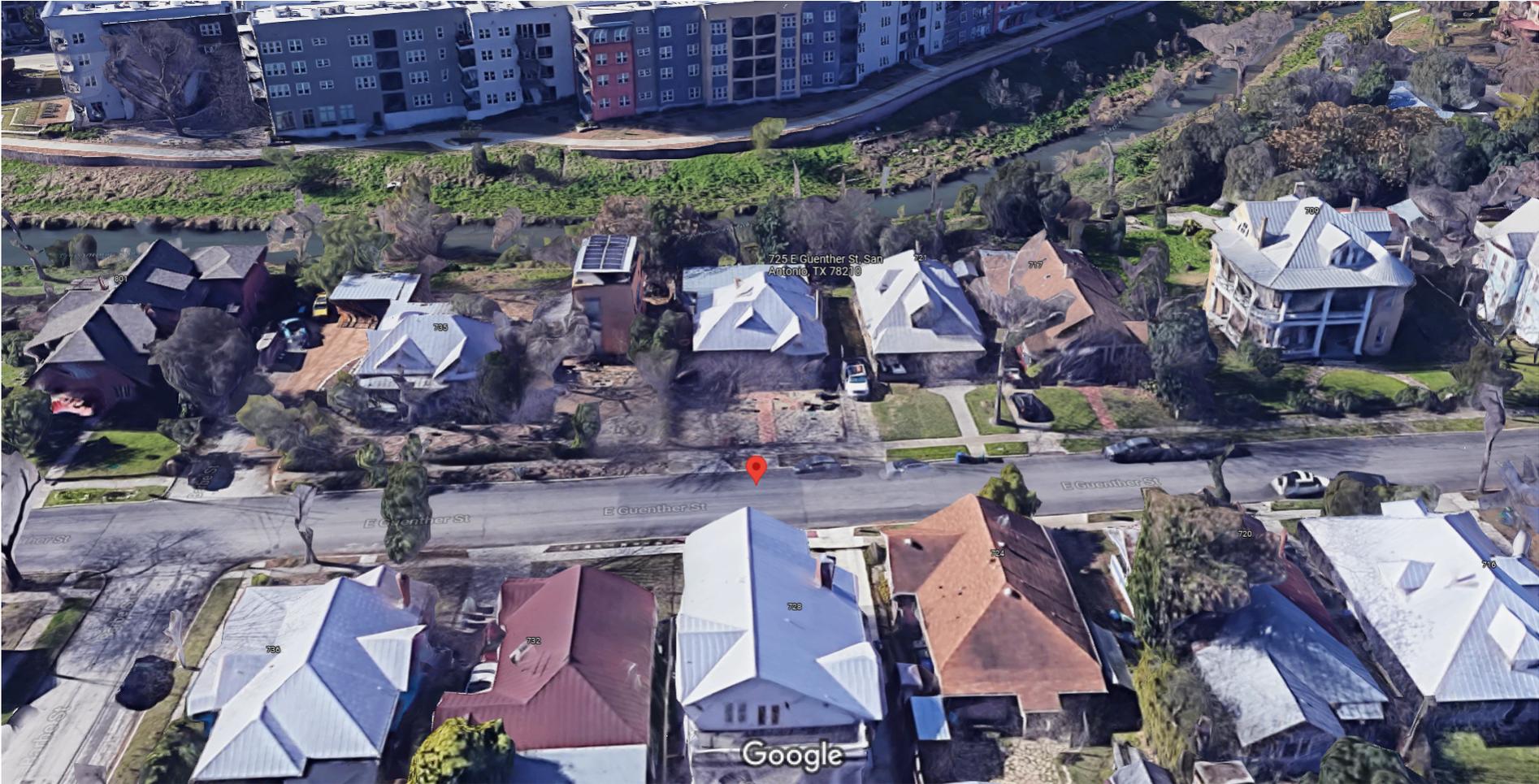


Google Maps 725 E Guenther St



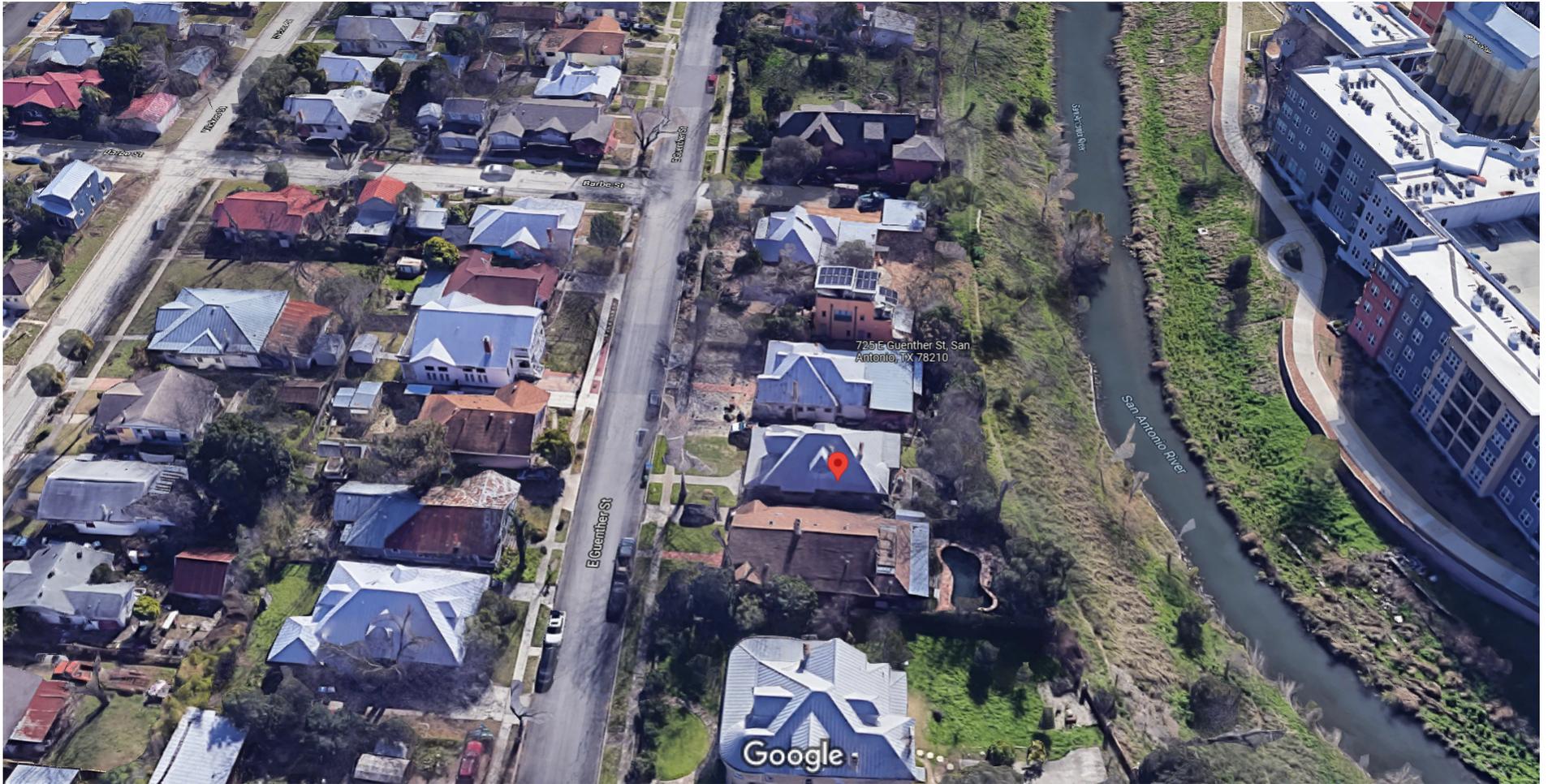
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Google Maps 725 E Guenther St



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Google Maps 725 E Guenther St



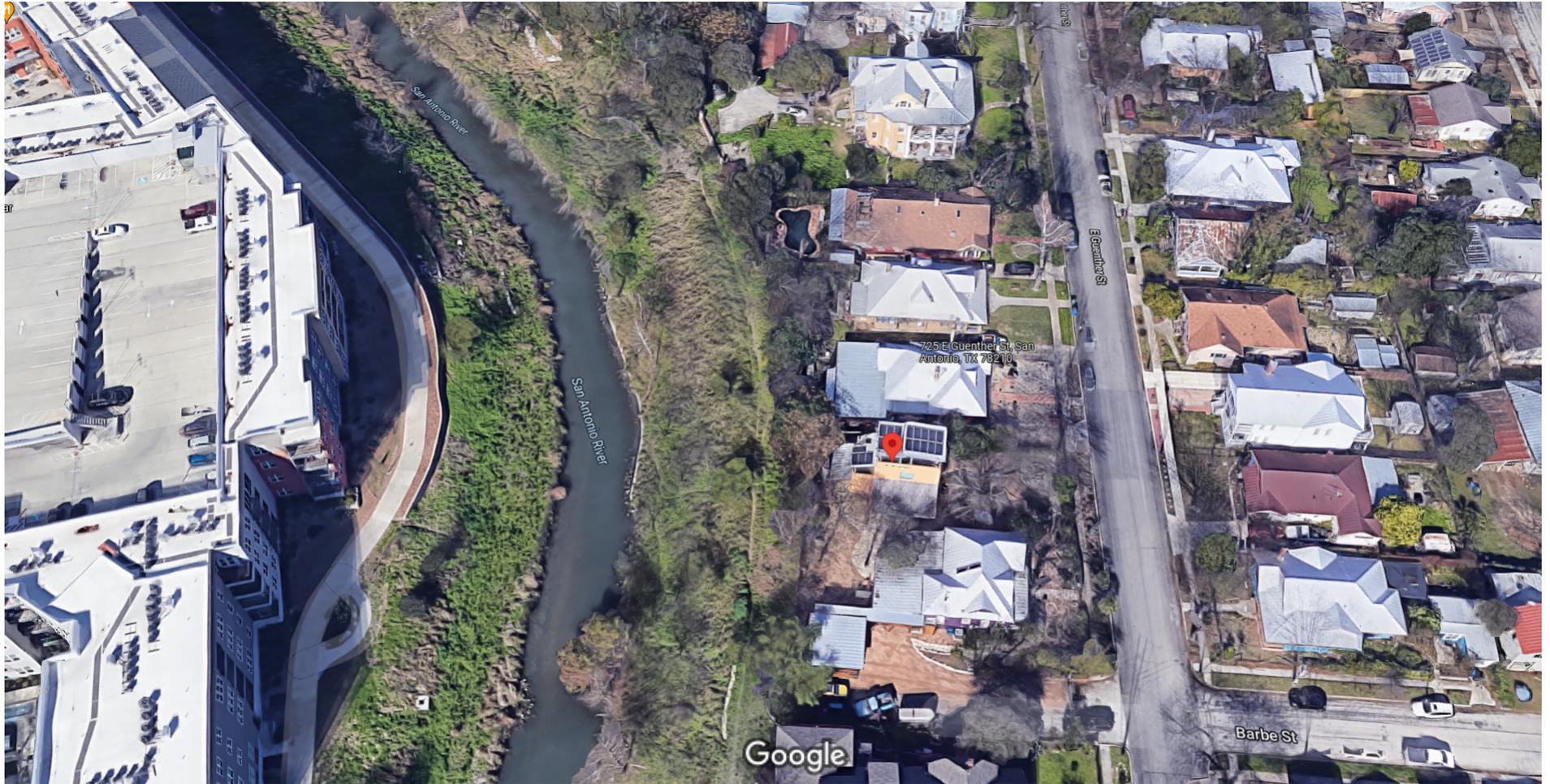
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Google Maps 725 E Guenther St

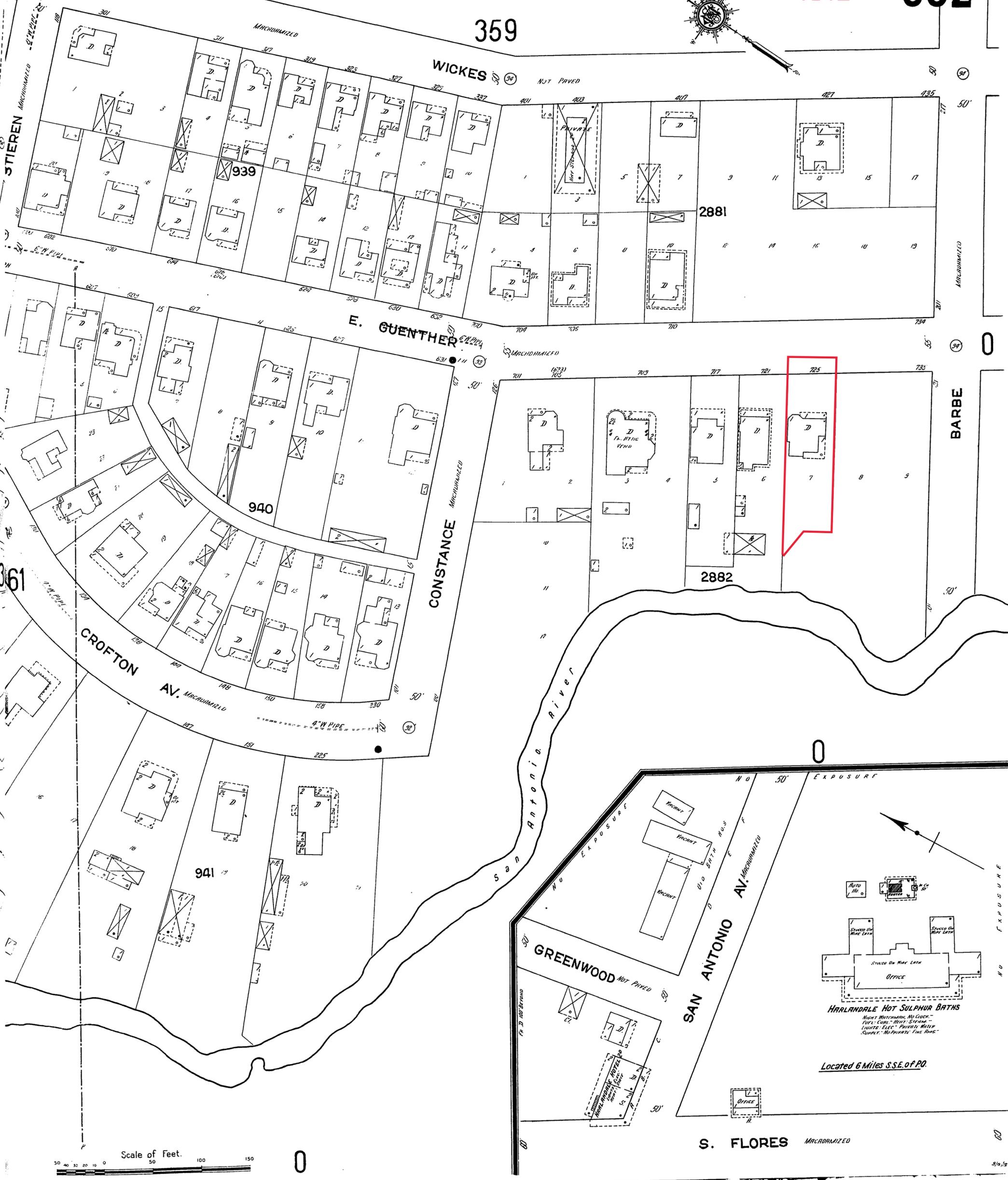
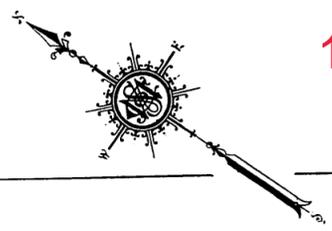


Imagery ©2021 Google, Map data ©2021 Google 20 ft

Google Maps 725 E Guenther St



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WICKES NOT PAVED

STEREN

MACADAMIZED

E. GUENTHER

CONSTANCE

CROFTON AV.

SAN ANTONIO RIVER

SAN ANTONIO AV.

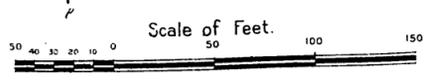
BARBE

GREENWOOD NOT PAVED

S. FLORES

HARLANDALE HOT SULPHUR BATHS  
NIGHT WATCHMAN, NO LOCK.  
PIPE: CURE - HOT STEAM -  
LIGHTS: ELECT - BURNING OIL  
SUNNY: NO PRIVATE TIME BATHS

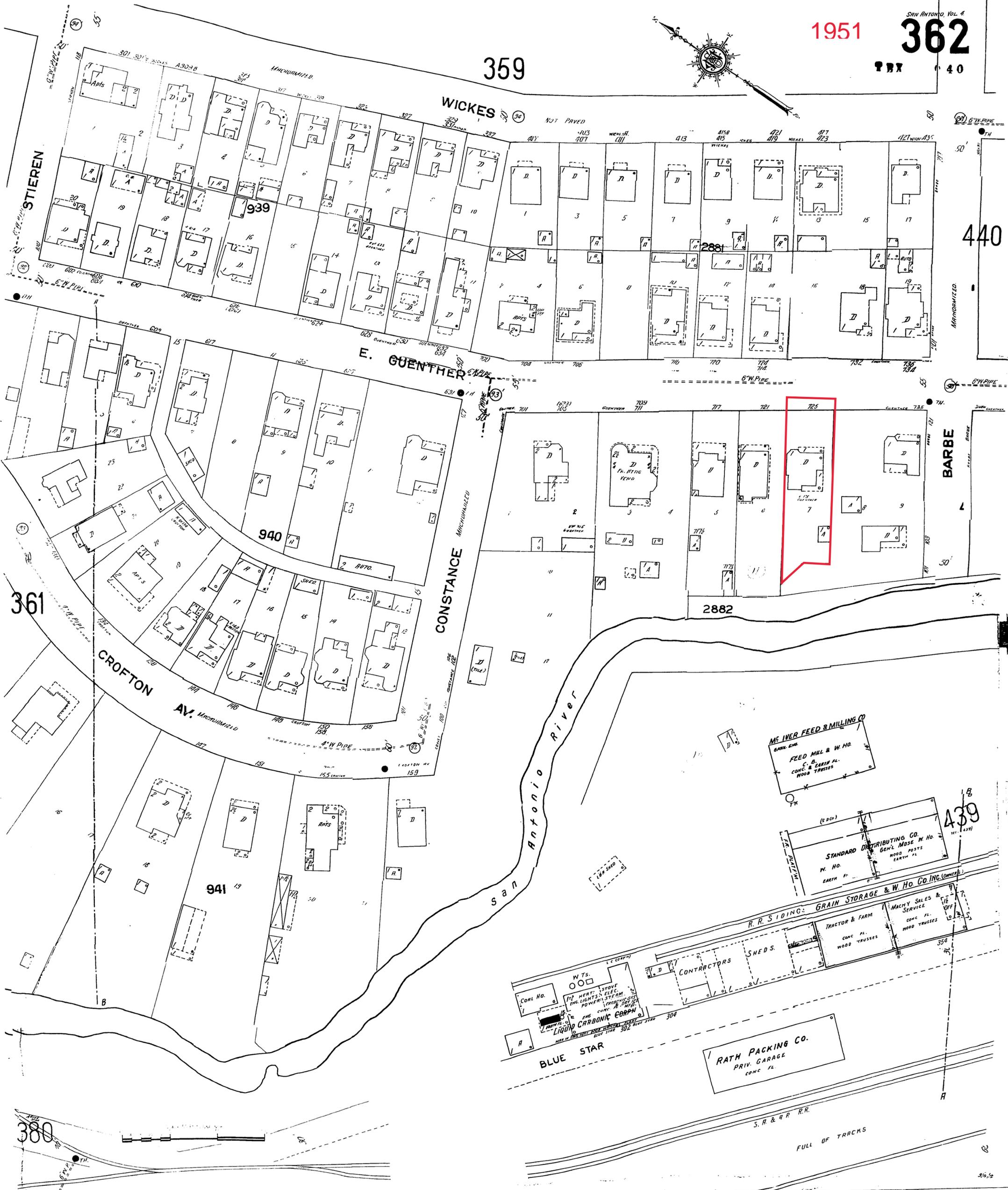
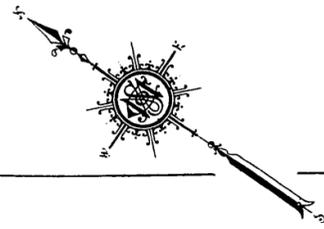
Located 6 Miles S.S.E. of P.O.



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359

440



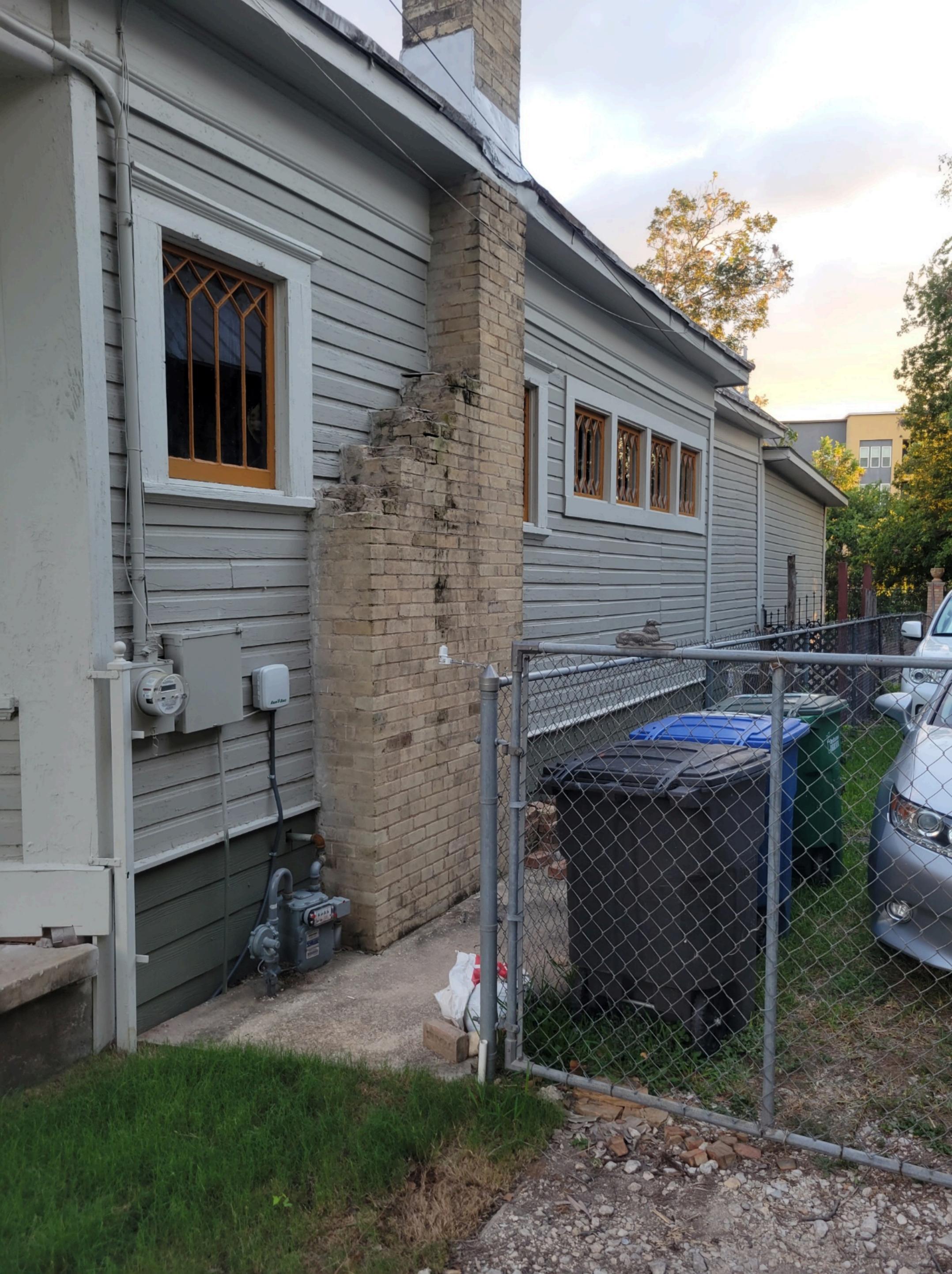
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380



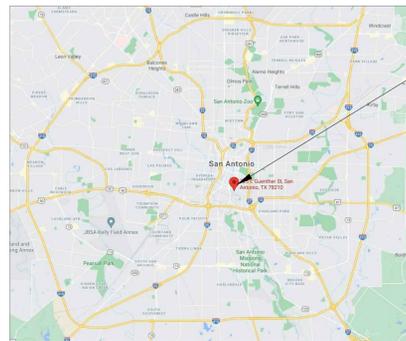








## LOCATION MAP



Project location  
(see enlarged street map)



## STREET MAP

Source: <https://www.google.com/maps/>



## AERIAL MAP

Source: <https://www.google.com/maps/> (Image Capture Jan-2019)

## SAN ANTONIO MAP

Source: <https://www.google.com/maps/>

## SYMBOLS

DOOR SYMBOL	
WINDOW TYPE	
HEIGHT KEY	
ROOM NAME	R - ( )
CEILING HEIGHT	0' - 0"
ROOF PITCH	4 - 12
REVISION CLOUD	
SLOPE DIRECTION	
GRADE DROP MARKER	

## GENERAL INFORMATION

- THIS SET OF CONSTRUCTION DOCUMENTS IS PRESENTED TO INCLUDE DRAWINGS OF 24" x 36" SHEETS.
- FOR ANY ITEM IDENTIFIED IN THE CONTRACT DOCUMENTS THAT IS REASONABLY INFERRABLE AS A COMPONENT IN A SYSTEM AND REQUIRED FOR THE PERFORMANCE OF THAT SYSTEM, THE CONTRACTOR SHALL INCLUDE ALL OTHER COMPONENTS IN THE WORK WHICH ARE NECESSARY FOR THE COMPLETION AND FULLY OPERATIONAL PERFORMANCE OF THAT SYSTEM.
- ALL INFORMATION ON EXISTING CONDITIONS WAS SUPPLIED TO THE DESIGN TEAM BY THE OWNER. CONTRACTOR IS REQUESTED TO VERIFY, ON-SITE, ALL DIMENSIONS & CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGN TEAM. CONTRACTOR SHALL FAMILIARIZE HIM (HER) SELF WITH EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. ALL CONTRACT DOCUMENTS - ARCHITECTURAL AND ENGINEERING (IF APPLICABLE) - ARE TO BE USED TOGETHER. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW COMPLETE SETS OF DOCUMENTS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACT DOCUMENTS INDICATE THE GENERAL DESIGN INTENT, BUT DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION. THE CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- CONTRACTOR OF THE WORK SHALL VERIFY IN THE FIELD AND COORDINATE BETWEEN THE TRADES. OWNER SHALL BE MADE AWARE OF ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING, BUT NOT LIMITED TO, PROPERTY LINE DIMENSIONS, SETBACKS, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING AND NEW, EXISTENCE AND LOCATIONS OF ASBESTOS OR OTHER UNKNOWN TOXIC MATERIAL, DRIVEWAYS, WALKS, APRONS, UTILITIES, GRADES, AND DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCOVERY OF ASBESTOS AND OTHER REGULATED TOXIC MATERIALS AND SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR CONFORMANCE TO FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS REGARDING THE DISPOSAL OF HAZARDOUS MATERIALS. SHOULD ANY QUESTIONS ARISE PRIOR TO BEGINNING CONSTRUCTION OR DURING ANY PHASE OF CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.
- CONTRACTOR SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR PLAN REVIEWS REQUIRED BY THE CITY OF SAN ANTONIO.
- CONTRACTOR SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR ALL PERMITS, APPROVALS, AND INSPECTIONS REQUIRED BY THE CITY OF SAN ANTONIO. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
- OWNER SHALL BEAR ALL FINANCIAL RESPONSIBILITY FOR ALL PLAN REVIEWS, PERMITS, APPROVALS, AND INSPECTIONS REQUIRED BY THE CITY OF SAN ANTONIO.

## INDEX

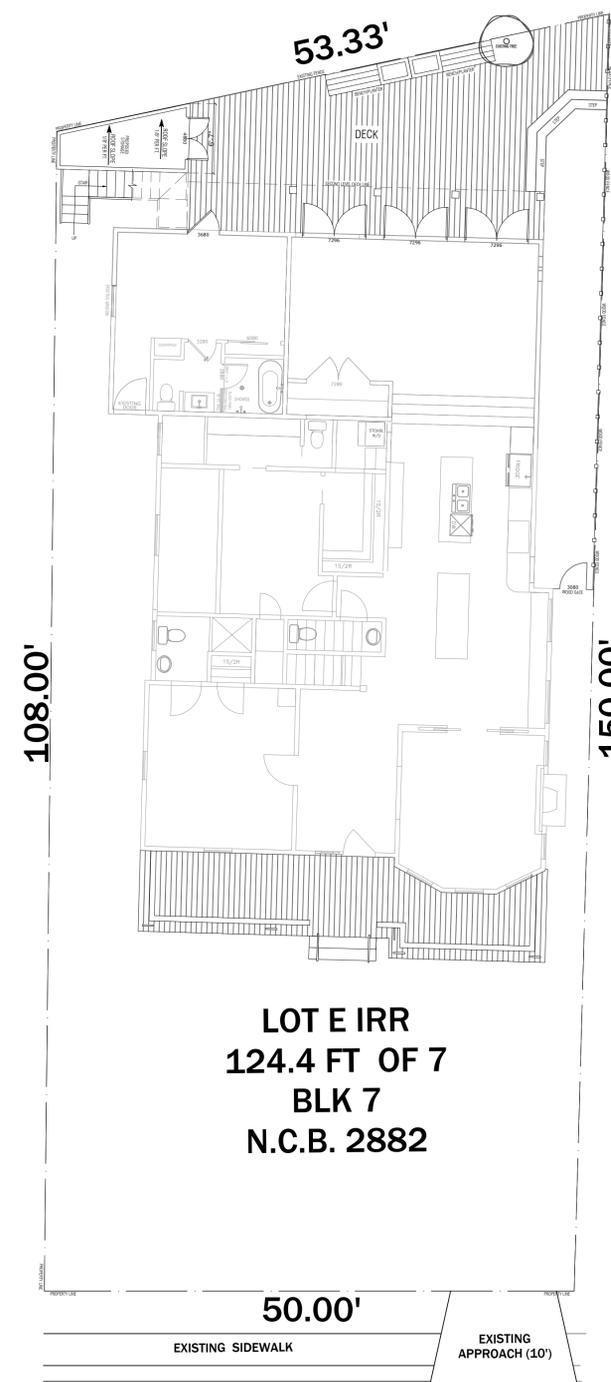
A-001	SITE PLAN
	COVER SHEET, TITLE, NOTES, LOCATION MAP
A-002	FLOOR PLAN/DEMO PLAN
A-003	ELECTRICAL PLAN
A-004	ELEVATIONS/DETAILS
A-005	RENDER VIEWS
S-1	FOUNDATION PLAN

## SITE PLAN LEGEND

PROPERTY LINE	
SETBACK LINE	
BUILDING EDGE LINE	
EXISTING FENCE	

## KEY NOTES

- PROPOSED DRIVEWAY
- EXISTING CURB
- CONCRETE APPROACH



**E. GUENTHER ST  
(50' RIGHT-OF-WAY)**

## SITE PLAN

A-001

Scale: 1/8"=1'-0"

## MODEL CODE ORGANIZATIONS

- ICC = The International Code Council
- IAPMO = International Association of Plumbing and Mechanical Officials
- NFPA = National Fire Protection Association

## LEGAL DESCRIPTION

**NOTE:**  
LEGAL DESCRIPTION: NCB 2882 BLK 7 LOT E IRR 124.4 FT OF 7  
ZONING: RM-4

## CODE ANALYSIS

**SCOPE OF WORK:**  
SINGLE-FAMILY

### GOVERNING CODES:

ALL WORKS SHALL BE IN CONFIRMATION WITH, BUT NO LIMITED TO, THE REQUIREMENTS OF THE FOLLOWING, AN ANY OTHER FEDERAL, STATE OR LOCAL CODE, LAWS AND ORDINANCES THAT APPLY

BUILDING - 2018 INTERNATIONAL RESIDENTIAL CODE W/AMENDMENTS  
MECHANICAL - 2018 INTERNATIONAL MECHANICAL CODE W/AMENDMENTS  
ELECTRICAL - 2017 NATIONAL ELECTRICAL CODE W/AMENDMENTS

### AREA:

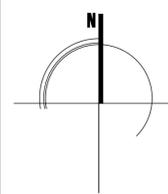
LIVING SPACE AREA: 2,105 SQ FT  
LOT AREA: 6,000 SQ FT

### CONSTRUCTION TYPE:

TYPE IIA

## ABBREVIATIONS

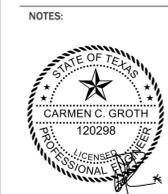
A = amps (s) (ex: a15A breaker)	DWV = drain, waste & vent	LL = lot line dividing one lot from another
ABS = acrylonitrile-butadiene-styrene plastic pipe	e.g = for example	or from a street
ACCA = Air Conditioning Contractors of America	EGC = equipment grounding conductor	manu = manufacturer
ACH = air changes per hour	EMT = electrical metallic tubing	max = maximum
AHJ = authority having jurisdiction	ex = example	min = minimum
AMI = in accordance with manufacturer's instructions	FLR = flood level rim	mph = miles per hour
ASCE = American Society of Civil Engineers	FAU = forced air unit (central furnace)	n/a = not applicable
ASTM = American Society for Testing & Materials	ft (after number) = foot, feet (ex: 5ft)	NM = nonmetallic sheathed cable
AWG = American Wire Gauge	FVIR = flammable vapor ignition resistant	O.C. = on center
BO = building official	galv = galvanized	PEX = cross linked polyethylene plastic pipe
Btu = British thermal unit	GB = gypsum board	(water pipe)
BWL = braced wall line	GEC = grounding electrode conductor	psf = pounds per square foot
BWP = braced wall panel	ICF = insulating concrete forms	psi = pound per square inch
CATV = cable television	IMC = intermediate metal conduit	psig = pounds per square inch gage
cfm = cubic feet per minute	in (after number) = inch	PT = preservative treated (wood)
CMU = concrete masonry unit	IS = IAPMO installation standard	PVC = polyvinyl chloride plastic water pipe or
CPVC = chlorinated polyvinyl chloride plastic pipe	kw = kilowatt	electrical conduit
CSST = corrugated stainless steel tubing	L&L = listed and labeled	recep = receptacle outlet (electrical)
cu = cubic (ex: 24cu. ft.)	lav = lavatory (sink)	RMC = rigid metal conduit
Cu = copper	lb = pound	SDC = Seismic Design Category
DFU = drainage fixture unit (s)	LFMC = liquidtight flexible metal conduit	SE = service entrance
DW = dishwasher	LFNC = liquidtight flexible nonmetallic	
	conduit	



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cgroth@projectaengineering.com

**PROJECT**  
**725 E. GUENTHER ST.**

San Antonio, TX, 78210  
DATE: 06/27/2021  
PROJECT NO.  
REVISION DATE  
1  
2  
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4  
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**DRAWN BY: CARLOS TREVIÑO**  
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS. DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES IN THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

PROJECT TYPE:

**RESIDENTIAL**

LIVING SPACE: 2,105 SQFT

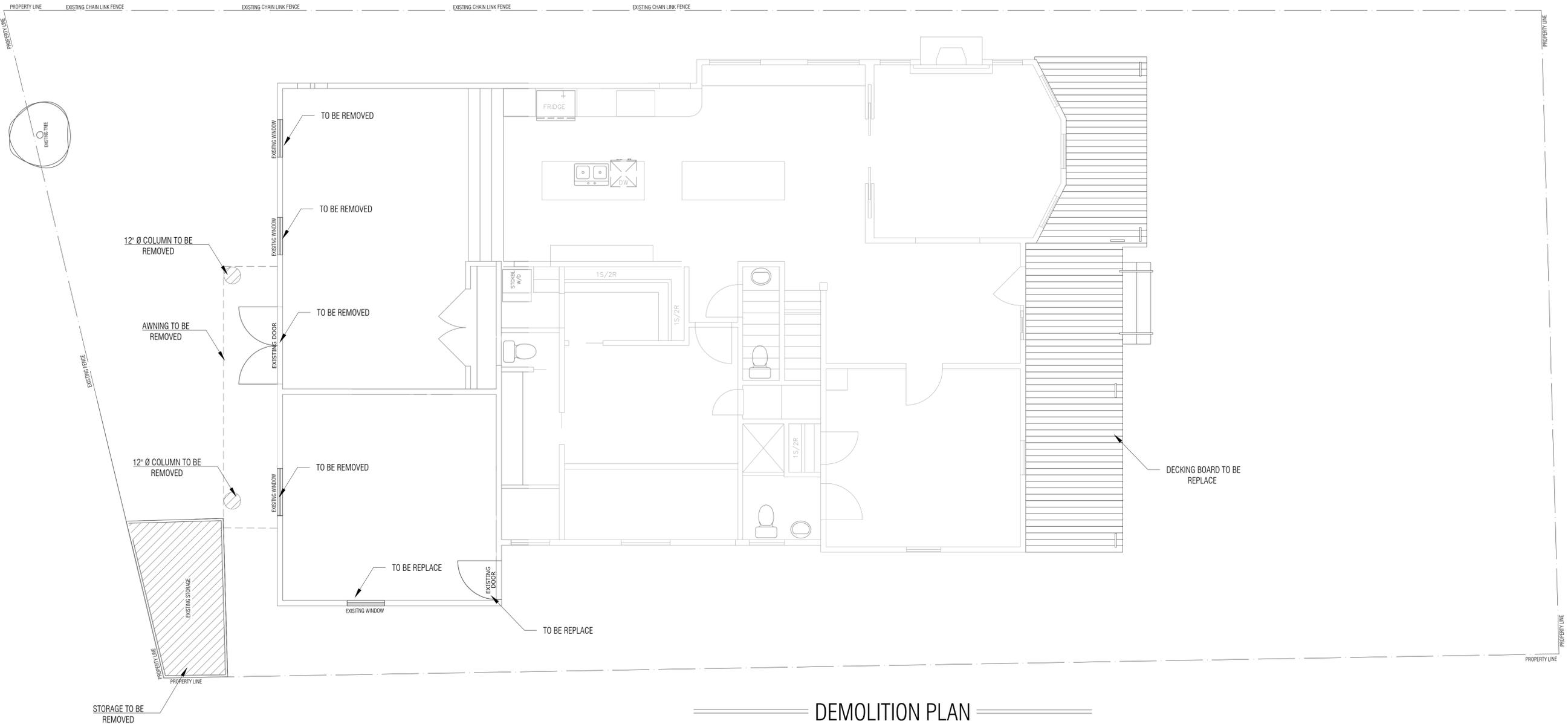
SITE PLAN

SCALE: 1/8"=1'-0"

**A.001**

PLAN No:

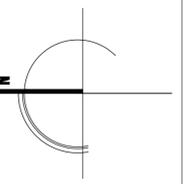
**JUNE 2021**



DEMOLITION PLAN



PHOTO REFERENCE



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**RESIDENTIAL**

LIVING SPACE: 2,105 SQFT  
**DEMO PLAN**

SCALE: 1/4"=1'-0"

**A.002**

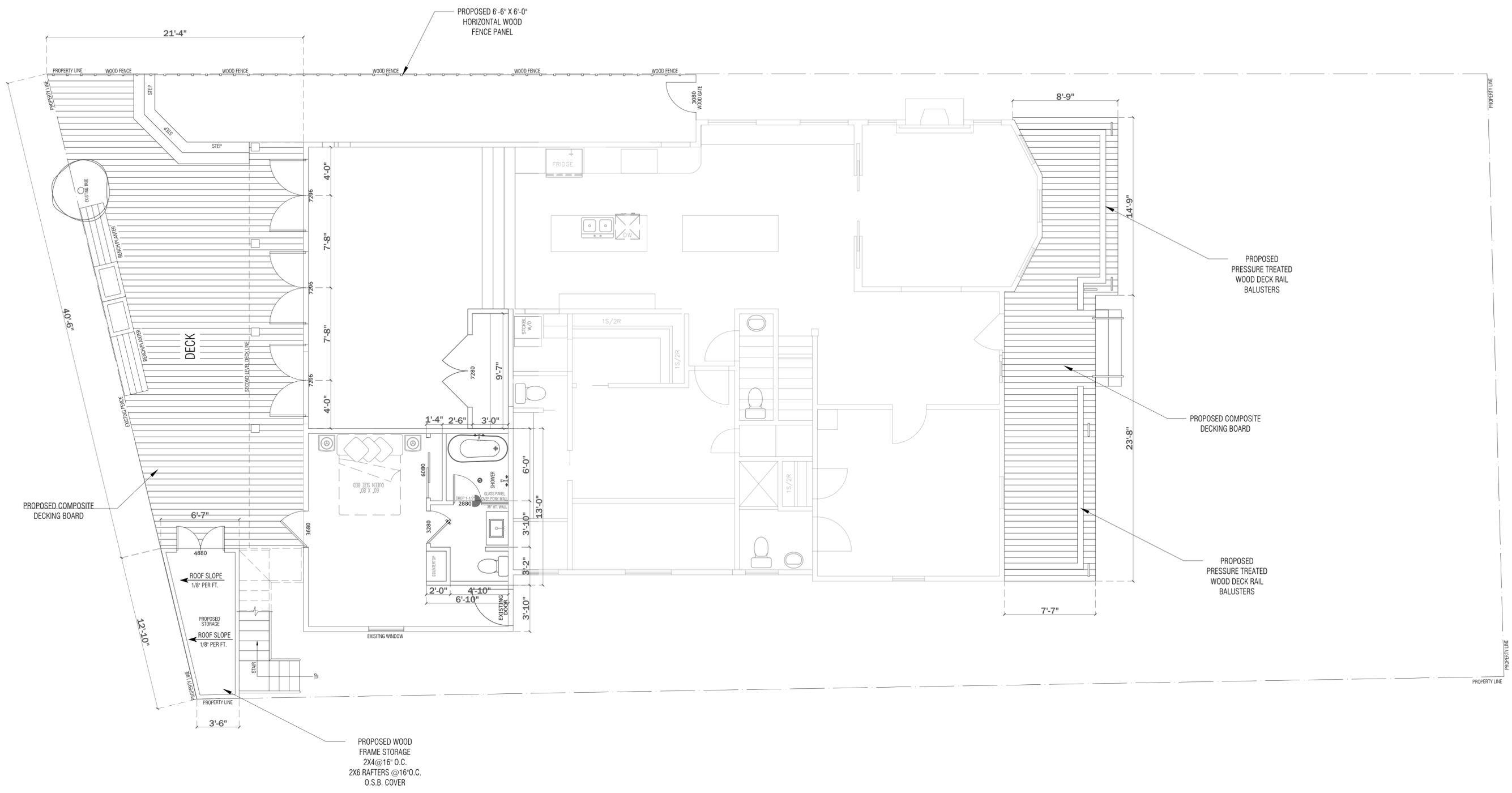
PLAN No:  
**JUNE 2021**

A-002  
Scale: 1/4"=1'-0"

**DEMO PLAN**



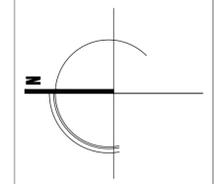
3 EXISTING DECORATIVE IRON TO BE REMOVED FROM FENCE



PROPOSED FLOOR PLAN FIRST FLOOR

A-003  
Scale: 1/4" = 1'-0"

FLOOR PLAN



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PROJECT TYPE:

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LIVING SPACE: 2,105 SQFT

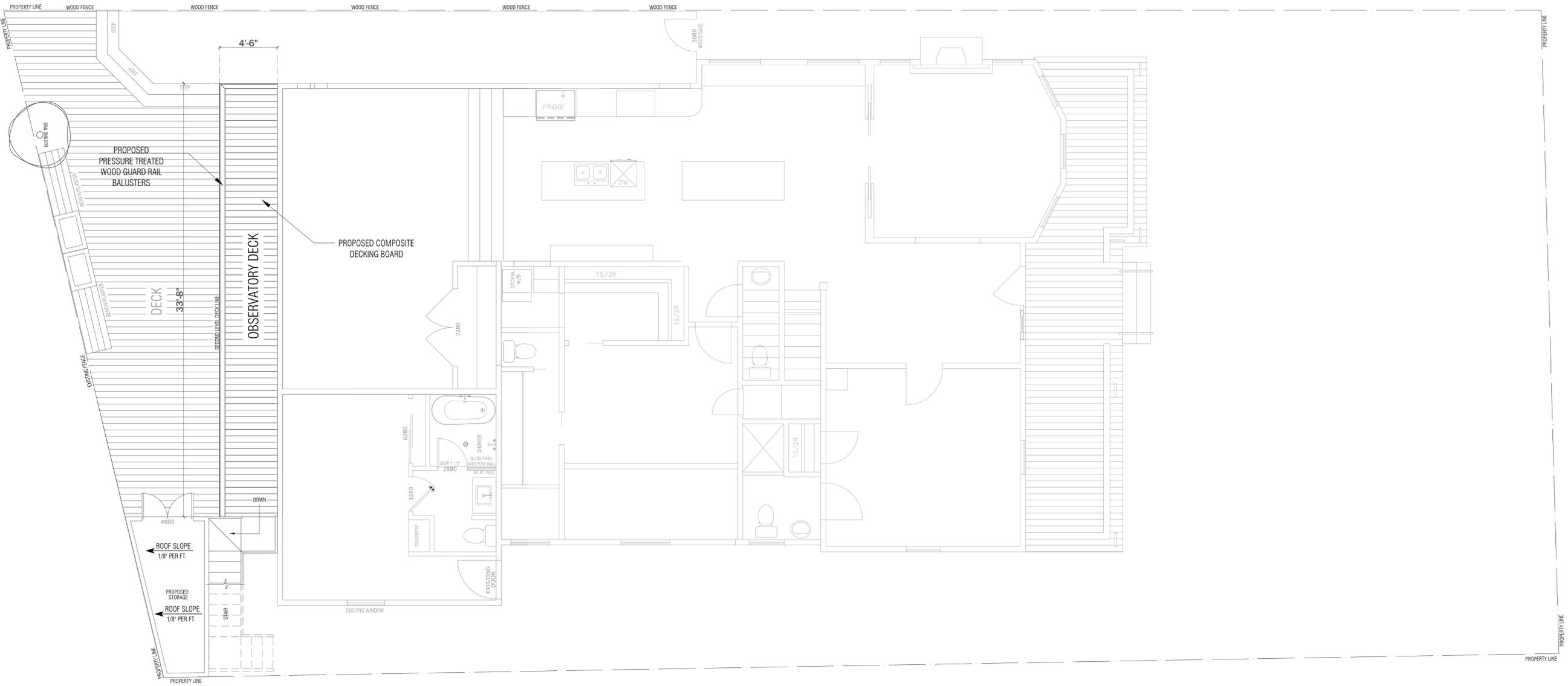
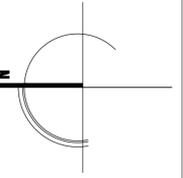
**MAIN LEVEL FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**A.003**

PLAN No:

**JUNE 2021**



PROPOSED OBSERVATORY DECK

A-03.1  
Scale: 1/4"=1'-0"

FLOOR PLAN

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PROJECT TYPE:

**RESIDENTIAL**

LIVING SPACE: 2,105 SQFT

**DECK LEVEL 2**

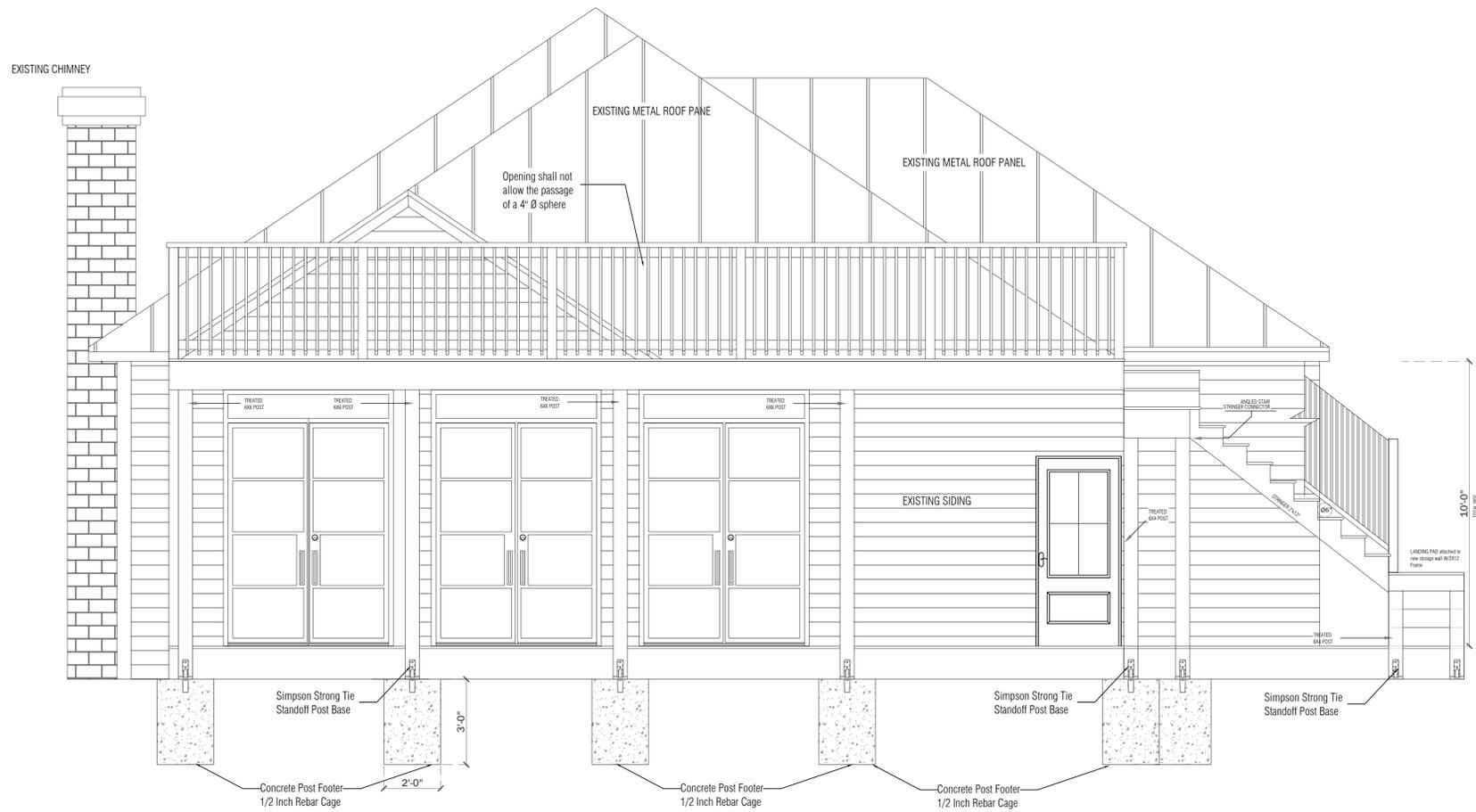
SCALE: 1/4"=1'-0"

**A.03.1**

PLAN No:

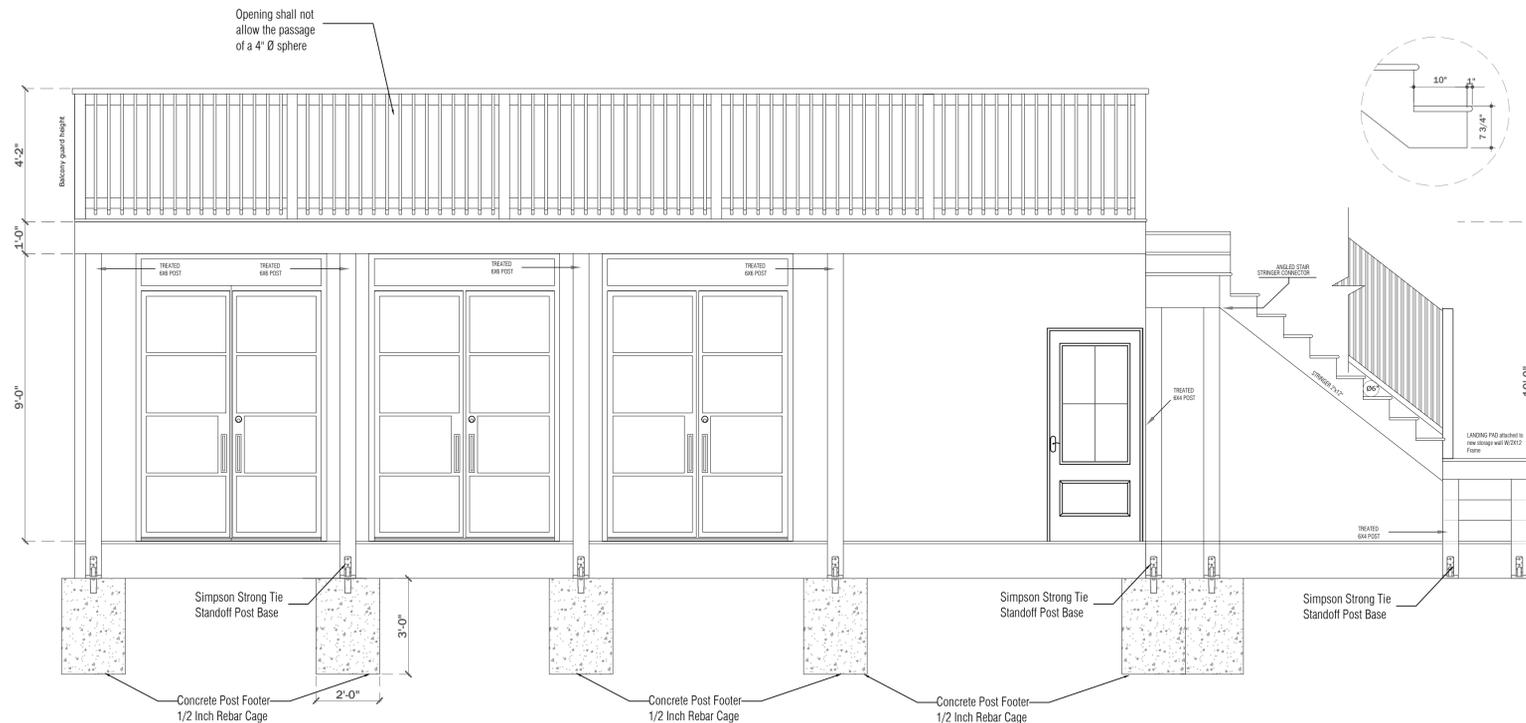
**JUNE 2021**





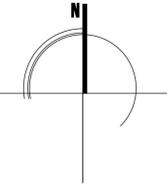
REAR ELEVATION

SCALE: 3/8" = 1'-0"



DECK SIDE ELEVATION

SCALE: 3/8" = 1'-0"



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PROJECT TYPE:

**RESIDENTIAL**

LIVING SPACE: 2,105 SQFT

**ELEVATION PLAN DETAILS**

SCALE: INDICATED

**A.005**

PLAN No:

**JUNE 2021**

**A-005** ELEVATION PLAN  
Scale: 1/4" = 1'-0"

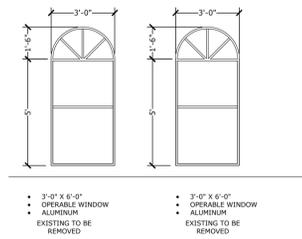
**DOOR NOTES:**

- 1.- DOOR SWINGS EASILY WITH NO CLOSER OR WITH A TIME DELAY CLOSER. FORCE TO OPEN A DOOR IS LIMITED TO 5LBS. FOR INTERIOR AND 8.5LBS FOR EXTERIOR DOORS.
- 2.- ALL DOORS AND FRAMES INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
- 3.- VERIFY ALL DOOR SWINGS PER PLAN.
- 4.- ALL DOORS SHALL CONFORM TO THE 2018 IBC AND THE STATE OF TEXAS ACCESSIBILITY STANDARDS.

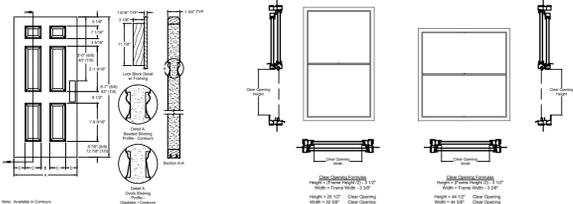
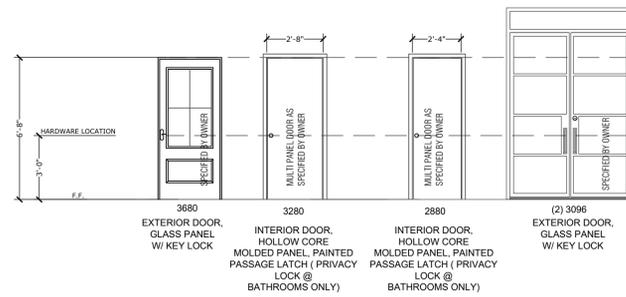
**WINDOWS NOTES:**

- 1.- ALL OPERABLE WINDOWS SHALL HAVE SCREENS
- 2.- OPERABLE WINDOWS AT ACCESSIBLE LOCATIONS SHALL REQUIRE A MAXIMUM FORCE OF 5LBS TO OPERATE.
- 3.- MINIMUM EGRESS REQUIREMENTS NET CLEAR OPENING 5.7 SQFT, WIDTH 32" AND MINIMUM HEIGHT 24".
- 4.- ENERGY REQUIREMENTS: U FACTOR  $\leq .35$  SHGC FACTOR  $\leq .20$
- 5.- WINDOWS ADJACENT TO DOORS TO BE TEMPERED PER IBC.

**WINDOW SCHEDULE**



**DOOR SCHEDULE**



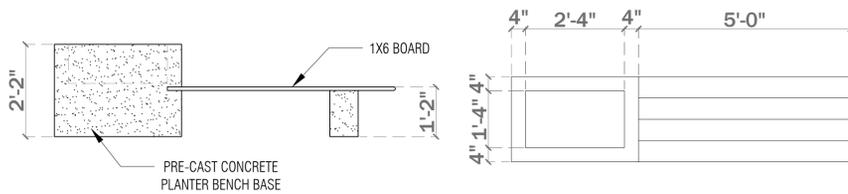
DOOR SCHEDULE					
DESCRIPTION	ID	WIDTH	HEIGHT	QTY	
EXT. DOOR RH IN-SWING	2442	2'-0"	3'-6"	2	
INT. DOOR RH IN-SWING	3280	2'-8"	6'-8"	1	
INT. DOOR LH OUT-SWING	2480	2'-0"	6'-8"	1	

WINDOW SCHEDULE			
DESCRIPTION	WIDTH	HEIGHT	QTY
VINYL WINDOW - OPERABLE	4'-0"	5'-0"	1

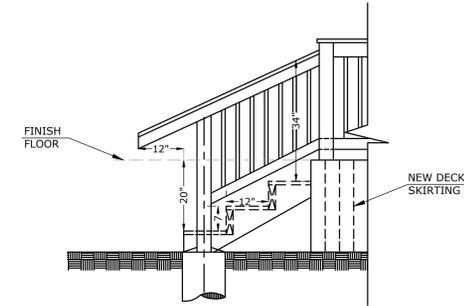
**WINDOW AND DOOR SCHEDULE**

SCALE: 1/4" = 1'-0"



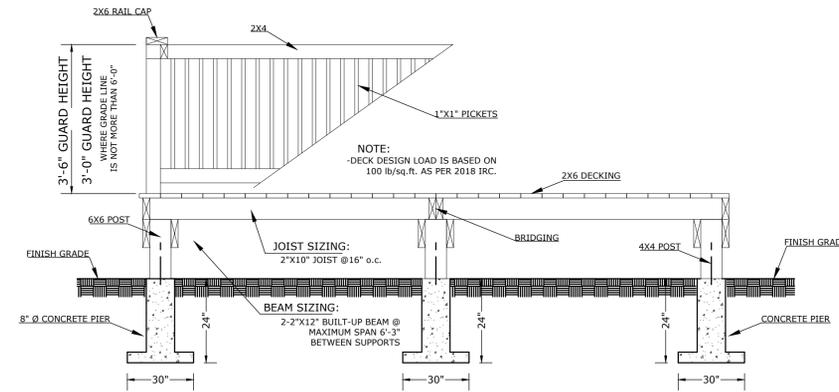
**BENCH/PLANTER DETAILS**

SCALE: 1/2" = 1'-0"



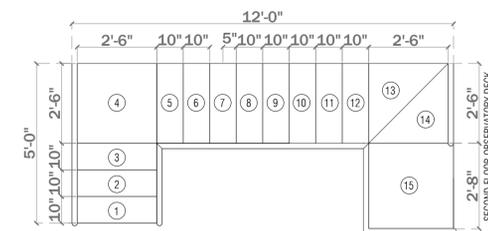
**TYP. DECK DETAILS**

SCALE: N.T.S.



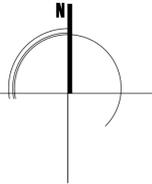
**TYP. DECK DETAILS**

SCALE: N.T.S.



**STAIRS**

SCALE: 3/8" = 1'-0"



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PROJECT

**725 E. GUENTHER ST.**

San Antonio, TX. 78210

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PROJECT TYPE:

**RESIDENTIAL**

LIVING SPACE: 2,105 SQFT

**WINDOW AND DOOR SCHEDULE DETAILS**

SCALE: INDICATED

**A.006**

PLAN No:

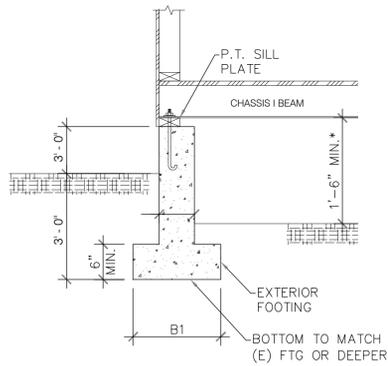
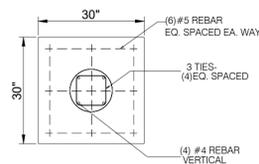
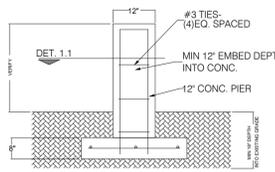
**JUNE 2021**

**FOUNDATION NOTES:**

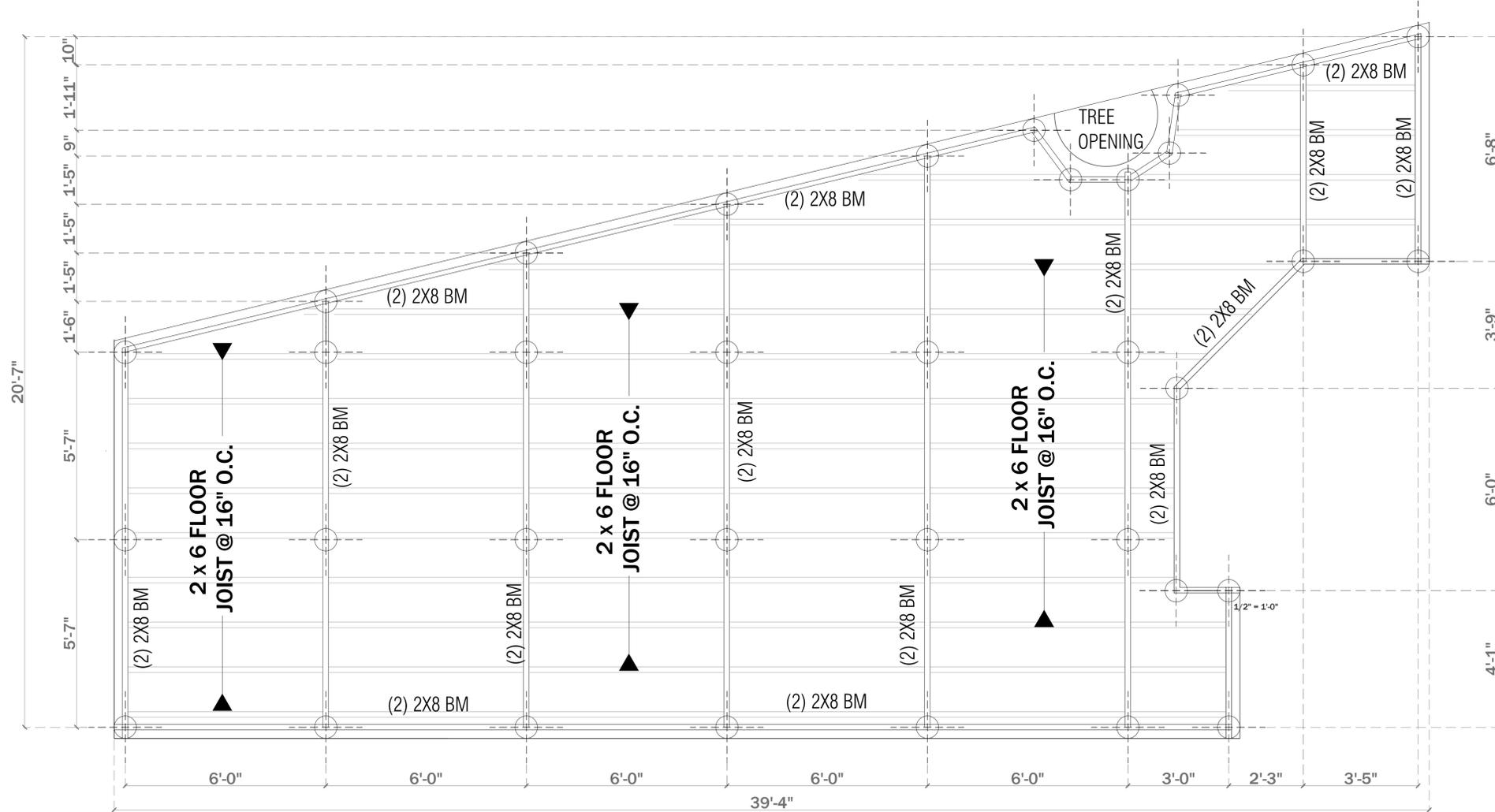
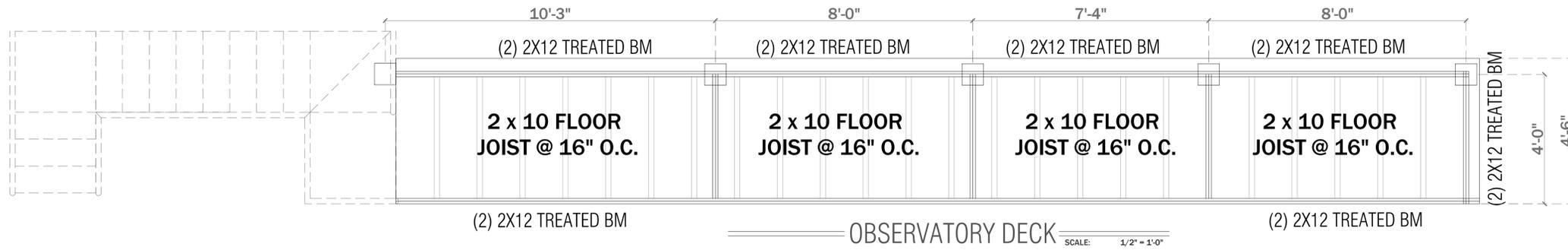
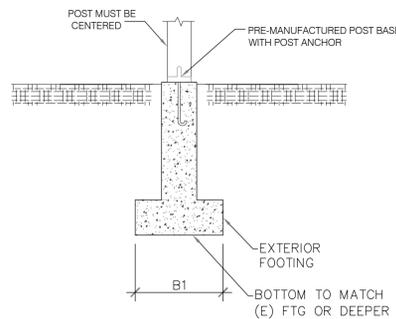
1. THIS FOUNDATION HAS BEEN ENGINEERED AS A SOIL SUPPORTED BEAM STIFFENED SLAB-ON-GRADE; AND AS SUCH, WILL MOVE WITH THE SUPPORTING SOILS.
2. DO NOT SCALE THIS DRAWING. THE BUILDER SHALL VERIFY ALL DIMENSIONS, SLAB DROP DEPTH AND LOCATIONS, BRICK-LEDGE DEPTH AND LOCATIONS, SLOPES, AND ALL OTHER NOTED ITEMS WITH THE ARCHITECT/DESIGNER AND PROJECTA ENGINEERING, PLLC. BUILDER SHALL NOTIFY IN WRITING OF ANY DISCREPANCY AND FOR DIRECTIONS TO RESOLVE THE DISCREPANCY.
3. IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE HOMEOWNER OF THE IMPORTANCE TO MAINTAIN PROPER DRAINAGE AWAY FROM FOUNDATION, AND TO WATER (DO NOT OVER-WATER) THE AREAS SURROUNDING THE FOUNDATION DURING DRY PERIODS.
4. THE AREA TO BE OCCUPIED BY THE FOUNDATION SHALL BE STRIPPED OF ALL VEGETATION, TOP SOIL, ROOTS, BOULDERS, AND OTHER OBSTRUCTIONS TO A POINT FIVE FEET BEYOND THE FOUNDATION PERIMETER.
5. PROVIDE 6" MINIMUM OF SELECT FILL MATERIAL UNDER THE FOUNDATION SLAB, ABOVE UNDISTURBED SOIL.
6. THE TOP OF THE FOUNDATION SLAB SHOULD BE A MINIMUM OF 8" ABOVE THE FINISH GRADE, THE GROUND ADJACENT TO THE FOUNDATION SHOULD SLOPE AWAY A MINIMUM OF 6" IN THE FIRST FIVE FEET.
7. CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, MAXIMUM SLUMP OF 5 1/2", TO MINIMIZE SHRINKAGE CRACKS, EXPOSE CONCRETE SURFACE AREAS (GARAGE/PORCHES) SHOULD HAVE A SLUMP OF 5" OR LESS.
8. ALL STEEL SHALL BE SUPPORTED IN THE FORMS OR SLABS WITH CHAIRS OR WIRE BOLSTERS, AND SHALL BE TIED AT EVERY OTHER INTERSECTION.
9. CORNER REINFORCING BARS. 2 CORNER BARS (ONE TOP AND ONE BOTTOM) SHALL BE PROVIDED AT EACH PERIMETER CORNER AND 2 CORNER BARS BOTH AT BOTTOM OF EACH "TEE" INTERSECTION.

**KEY NOTES:**

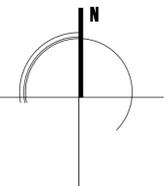
- 1.) 5" THICK 3,000 PSI CONCRETE SLAB PLACED OVER 6 MIL POLYETHYLENE VAPOR BARRIER
- OVER 6'-0" SELECT FILL REINFORCED W/ #4'S @ 12" O.C.E.W.
- 2.) END OF WATERPROOFING MEMBRANE TO BE INSTALLED 6-INCH FROM BOTTOM OF BEAM
- 3.) ALL REBAR SHALL BE ASTM A-615 GRADE 60
- 4.) ALL BEAMS SHALL BE 12" WIDE X 30" DEEP (UNO), REINFORCED W/ (2) #6'S T&B & #3 TIES @ 18" O.C.
- 5.) CONTRACTOR SHALL VERIFY ALL ARCHITECTURAL FEATURES AND IS RESPONSIBLE FOR FIT AND FINISH. WHERE THERE IS A DISCREPANCY BETWEEN INFORMATION SHOWN HERE AND/OR ARCHITECTURAL PLANS, THE ARCHITECTURAL SHALL CONTROL. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR OPENINGS.
- 6.) ALL BAR SPLICES TO OVERLAP A MINIMUM OF 30 DIAMETERS OF THE BAR BUT NOT LESS THAN 12"
- 7.) INSTALL FIRST STIRRUP 2" FROM INSIDE BEAM, INSTALL STIRRUPS VERTICALLY. ANGLED STIRRUPS ARE NOT PERMITTED



\* WOOD MEMBERS SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED IF MIN. DISTANCE IS NOT MAINTAINED



DECK SCALE: 3/8"=1'-0"



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PROJECT TYPE:

**RESIDENTIAL**

LIVING SPACE: 2,105 SQFT

**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

**S.001**

PLAN No:

**JUNE 2021**

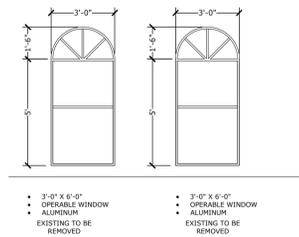
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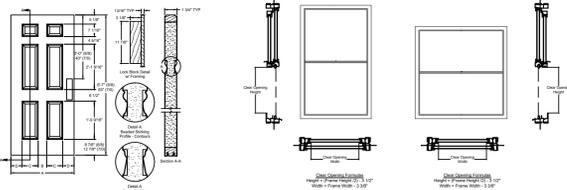
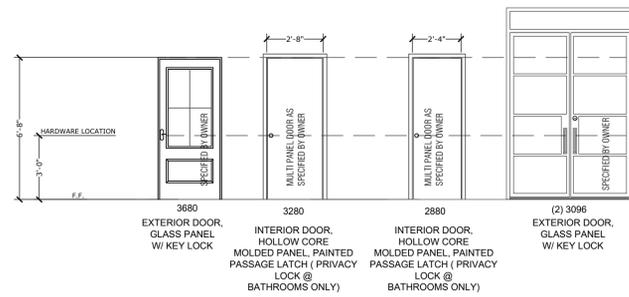
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- 1.- ALL OPERABLE WINDOWS SHALL HAVE SCREENS
- 2.- OPERABLE WINDOWS AT ACCESSIBLE LOCATIONS SHALL REQUIRE A MAXIMUM FORCE OF 5LBS TO OPERATE.
- 3.- MINIMUM EGRESS REQUIREMENTS NET CLEAR OPENING 5.7 SQFT, WIDTH 32" AND MINIMUM HEIGHT 24".
- 4.- ENERGY REQUIREMENTS: U FACTOR  $\leq .35$  SHGC FACTOR  $\leq .20$
- 5.- WINDOWS ADJACENT TO DOORS TO BE TEMPERED PER IBC.

**WINDOW SCHEDULE**



**DOOR SCHEDULE**



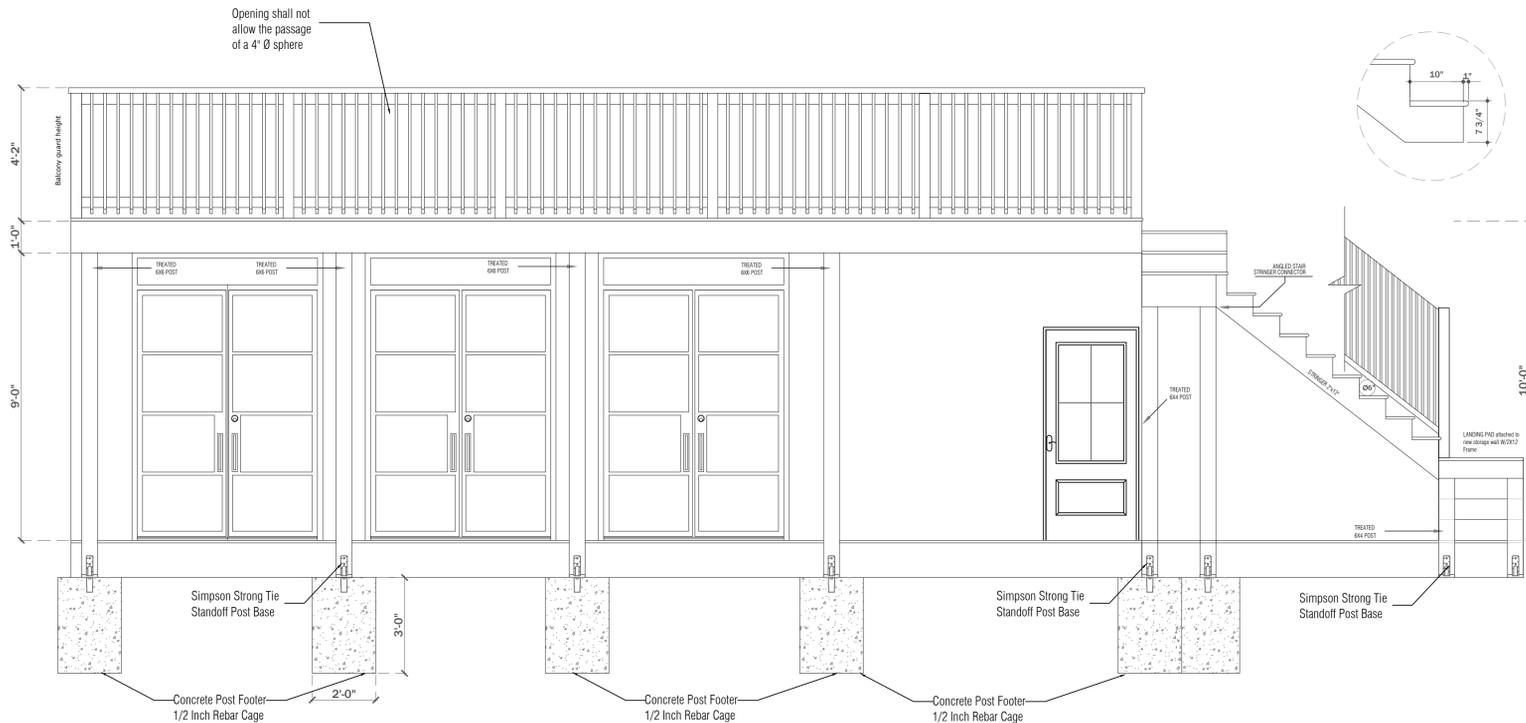
Code	Material	Quantity	Notes
3680	3680	1	EXTERIOR DOOR
3280	3280	2	INTERIOR DOOR
2880	2880	1	INTERIOR DOOR
3096	3096	2	EXTERIOR DOOR

DESCRIPTION	ID	WIDTH	HEIGHT	QTY
EXT. DOOR RH IN-SWING	2442	2'-0"	3'-6"	2
INT. DOOR RH IN-SWING	3280	2'-8"	6'-8"	1
INT. DOOR LH OUT-SWING	2480	2'-0"	6'-8"	1

DESCRIPTION	WIDTH	HEIGHT	QTY
VINYL WINDOW - OPERABLE	4'-0"	5'-0"	1

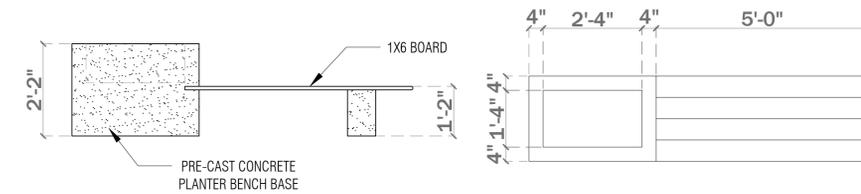
**WINDOW AND DOOR SCHEDULE**

SCALE: 1/4" = 1'-0"



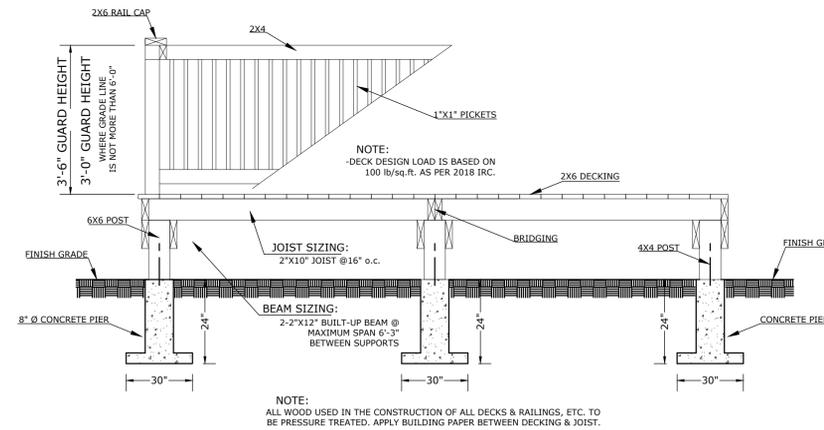
**DECK SIDE ELEVATION**

SCALE: 3/8" = 1'-0"



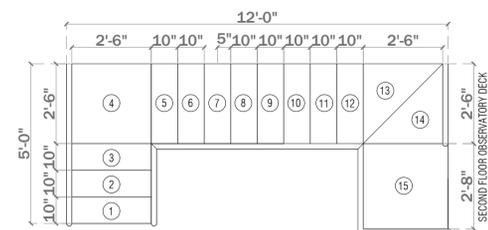
**BENCH/PLANTER DETAILS**

SCALE: 1/2" = 1'-0"



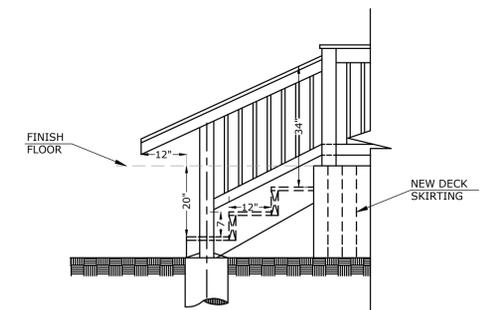
**TYP. DECK DETAILS**

SCALE: N.T.S.



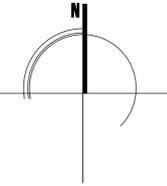
**STAIRS**

SCALE: 3/8" = 1'-0"



**TYP. DECK DETAILS**

SCALE: N.T.S.



**Projecta**  
ENGINEERING  
PROJECTA ENGINEERING - PLLC  
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PHONE: (210) 380-0060  
cgroth@projectaengineering.com

PROJECT

**725 E. GUENTHER ST.**

San Antonio, TX. 78210

DATE: 06/27/2021

PROJECT NO.

REVISION	DATE
1	
2	
3	
4	
5	
6	



DRAWN BY: CARLOS TREVIÑO

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS. DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES IN THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**RESIDENTIAL**

LIVING SPACE: 2,105 SQFT

**ELEVATION PLAN DETAILS**

SCALE: INDICATED

**A.005**

PLAN No:

**JUNE 2021**



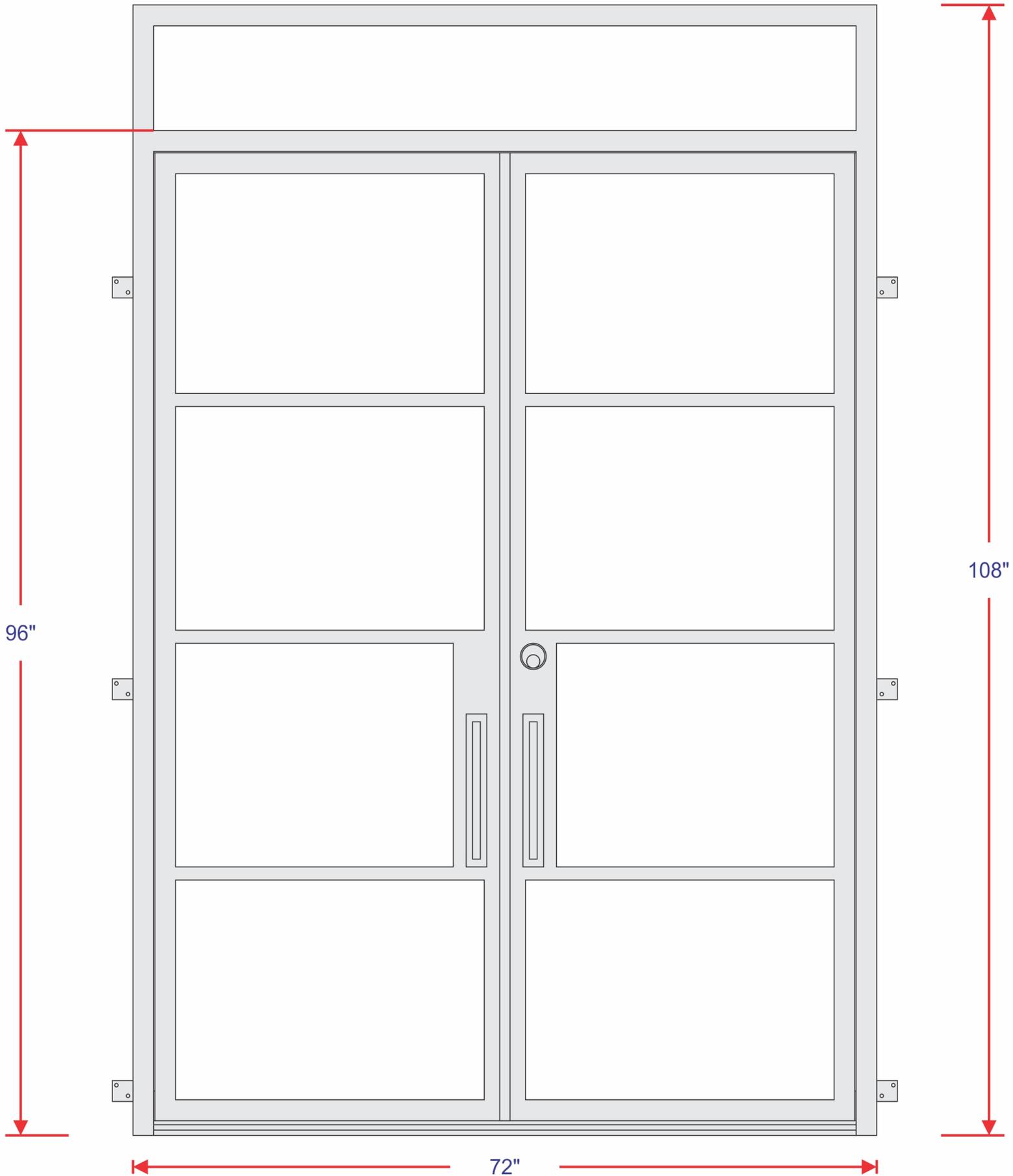


Client/address: Bob Lord / 78210

**JOB ORDER**

Contact: boblord.hm@gmail.com

# Double Door X3



Although we always try to respect the agreed time, external factors such as suppliers, weather conditions and delays on ordered parts may change our datelines.